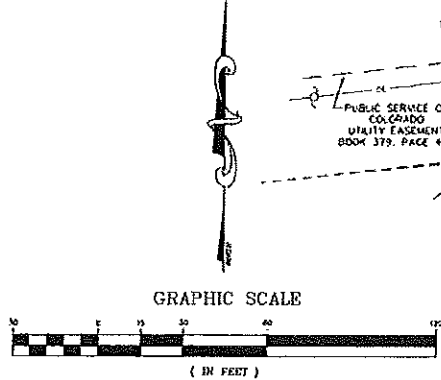
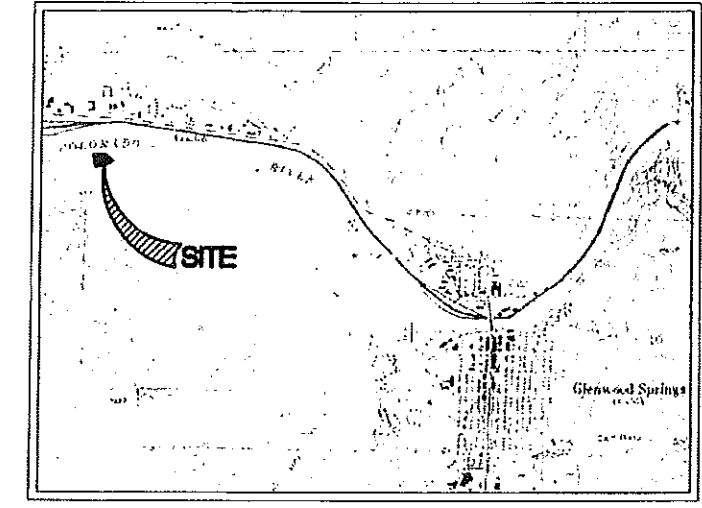


SHEET INDEX

- SHEET 1 COVER SHEET
- SHEET 2 UPPER LEVEL FLOOR PLANS
- SHEET 3 LOWER LEVEL FLOOR PLANS
- SHEET 4 SECTION PLANS

**CONDOMINIUM PLAT OF
MIDLAND CENTER LOT 2 CONDOMINIUMS**
LOT 2, AMENDED FINAL PLAT OF MIDLAND CENTER SUBDIVISION PER RECEPTION NUMBER
CITY OF GLENWOOD SPRINGS, COUNTY OF GARFIELD, STATE OF COLORADO

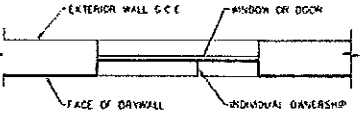


LEGEND

- ⊙ POWER POLE
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC PEDESTAL
- ⊙ LIGHT POLE
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE BOX
- ⊙ IRRIGATION VALVE
- ⊙ IRRIGATION CONTROL BOX
- ⊙ CLEAN OUT
- ⊙ LIGHT PEDESTAL
- ⊙ PVC RISER
- ⊙ HANDICAP PARKING
- ⊙ CURB INLET
- ⊙ MANHOLE
- O — OVERHEAD POWER LINE
- X — FENCE

CURVE DATA

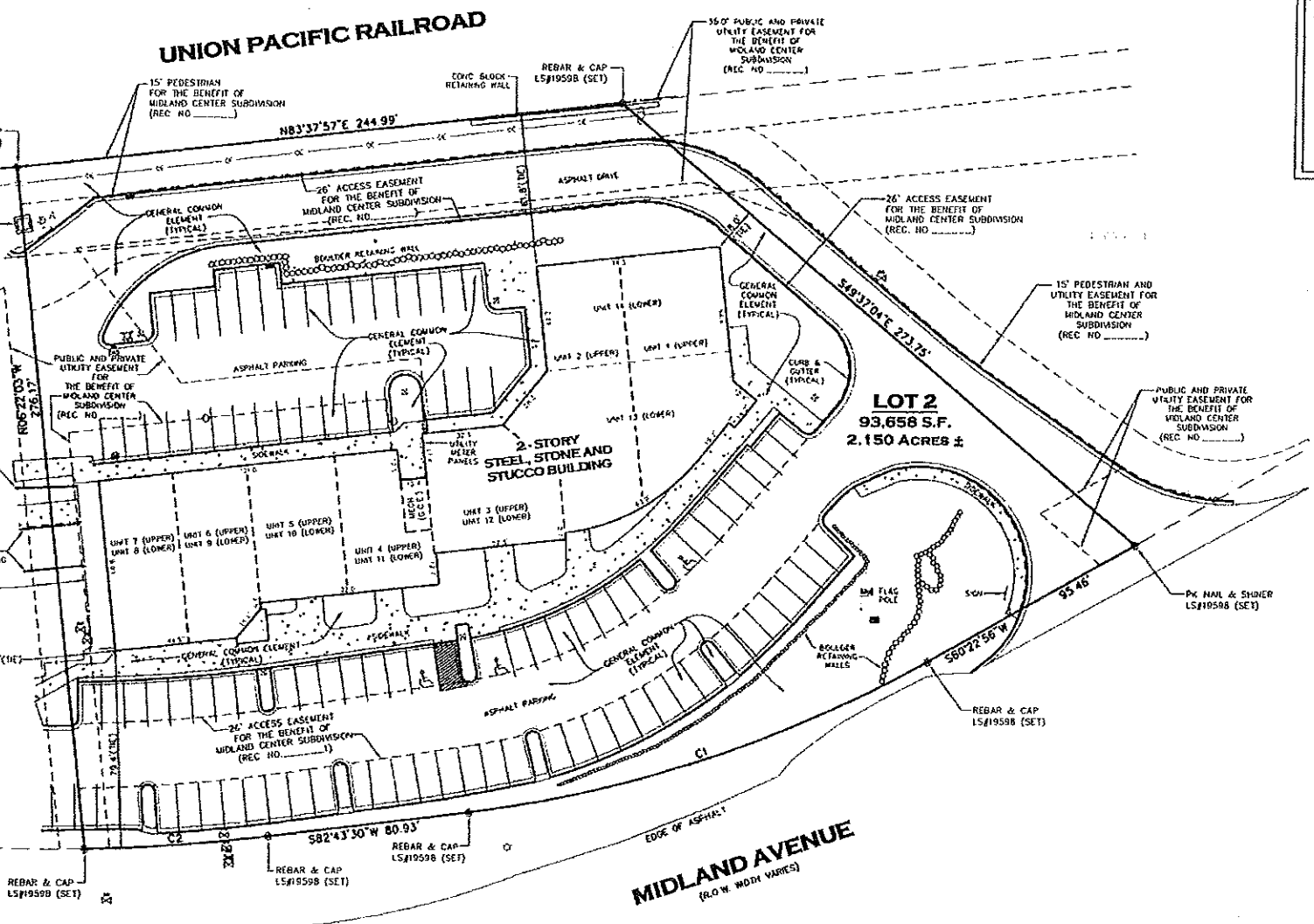
CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	580.00'	22.2831°	191.89'	98.75'	S21°33'13"W	193.75'
C2	210.00'	67.0057°	24.55'	33.50'	S82°43'50"W	74.57'



NOTE: INTERIOR DIMENSIONS ARE FROM FACE OF DRYWALL TO FACE OF DRYWALL. OWNERSHIP AT EXTERIOR WINDOWS AND DOORS IS AS SHOWN ON THIS DIAGRAM. WINDOW AND DOOR FRAMES ARE GENERAL COMMON ELEMENT.

TYPICAL EXTERIOR WINDOW AND DOOR DETAIL

NOTICE: ACCORDING TO COLORADO LAW YOU MUST EXAMINE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY THE ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMPLETED MORE THAN THREE YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.



NOTES:

1. BASIS OF BEARINGS FOR THIS SURVEY IS A BEARING OF S86°28'00"E BETWEEN THE STREET MONUMENT AT THE INTERSECTION OF 8TH STREET AND MIDLAND AVENUE AND THE STREET MONUMENT AT THE INTERSECTION OF 8TH STREET AND PALMER AVENUE.
2. THIS PROPERTY IS SUBJECT TO RESERVATIONS, RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD OR IN PLACE.
3. THIS MAP IS BASED ON THE AMENDED FINAL PLAT OF MIDLAND CENTER SUBDIVISION RECORDED AS RECEPTION NUMBER _____ AND CORNERS FOUND IN PLACE.
4. DATE OF SURVEY WAS NOVEMBER 10, 2009.
5. LINEAR UNITS TO PERFORM THIS SURVEY WERE U.S. SURVEY FEET.
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, THEREFOR EXCEPTIONS TO THE TITLE HAVE NOT BEEN RESEARCHED BY HIGH COUNTRY ENGINEERING, INC.
7. ALL INTERIOR UNIT DIMENSIONS WERE TAKEN FROM ARCHITECTURAL PLANS PREPARED BY SUBMITTERS ARCHITECTS AND HAVE NOT BEEN FIELD VERIFIED BY HIGH COUNTRY ENGINEERING, INC. A FIELD SURVEY AND LOT BOUNDARY ADJUSTMENT PLAN WILL NEED TO BE FILED AS EACH UNIT IS COMPLETED.
8. ALL AREAS OUTSIDE OF BUILDING FOOTPRINT ARE GENERAL COMMON ELEMENTS (G.C.E.), UNLESS OTHERWISE NOTED. REPAIR & MAINTENANCE OF THESE ELEMENTS SHALL BE PER MAINTENANCE CONTRACT OF THE MIDLAND CENTER SUBDIVISION.

PLANNING COMMISSION CERTIFICATE

THIS PLAT APPROVED BY THE GLENWOOD SPRINGS PLANNING COMMISSION THIS _____ DAY OF _____ A.D. 2010.

BY: _____
CHAIRMAN

CITY COUNCIL CERTIFICATE

THIS PLAT WAS APPROVED BY THE CITY COUNCIL OF GLENWOOD SPRINGS, GARFIELD COUNTY, COLORADO THIS _____ DAY OF _____ A.D. 2010, FOR FILING WITH THE CLERK AND RECORDER OF GARFIELD COUNTY AND FOR CONVEYANCE TO THE CITY OF THE PUBLIC DEDICATIONS SHOWN HEREON SUBJECT TO THE PROVISION THAT THE APPROVAL IN NO WAY OBLIGATES THE CITY OF GLENWOOD SPRINGS FOR FINANCING OR CONSTRUCTION OF IMPROVEMENTS ON LAND, STREETS OR EASEMENTS DEDICATED TO THE PUBLIC EXCEPT AS SPECIFICALLY AGREED TO BY THE CITY COUNCIL IN THE SUBDIVISION AGREEMENT.

BY: _____
MAYOR

WITNESS MY HAND AND THE SEAL OF THE CITY OF GLENWOOD SPRINGS

ATTEST:

BY: _____
CITY CLERK

CERTIFICATION OF DEDICATION AND OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS THAT MIDLAND CENTER L.L.C. BEING SOLE OWNER(S) IN FEE SHIPPLE OF ALL THAT REAL PROPERTY DESCRIBED AS FOLLOWS:

LOT 2, AMENDED FINAL PLAT OF MIDLAND CENTER SUBDIVISION ACCORDING TO THE FINAL PLAT RECORDED ON _____ AS RECEPTION NUMBER _____

HAS BY THESE PRESENTS LAID OUT, PLATTED AND DESCRIBED THE SAME INTO CONDOMINIUM UNITS AS SHOWN HEREON AND DESIGNATES THE SAME AS THE MIDLAND CENTER LOT 2 CONDOMINIUMS, A CONDOMINIUM COMMON INTEREST COMMUNITY, BY THE CITY OF GLENWOOD SPRINGS, COUNTY OF GARFIELD, STATE OF COLORADO; AND SO FURTHER STATES THAT THE CONDOMINIUM SHALL BE SUBJECT TO THE PROTECTIVE COVENANTS FILED AND RECORDED FOR THIS CONDOMINIUM IN THE OFFICE OF THE CLERK AND RECORDER OF GARFIELD COUNTY, COLORADO AS RECEPTION NUMBER _____.

EXECUTED THIS _____ DAY OF _____ A.D. 2010.

OWNER(S): MIDLAND CENTER, L.L.C., A COLORADO LIMITED LIABILITY COMPANY, A COLORADO CORPORATION, ITS MANAGER,

BY: _____
ALAN J. CAPPO, MANAGER

STATE OF COLORADO)
COUNTY OF GARFIELD) SS
CITY OF GLENWOOD SPRINGS)

THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2010, BY ALAN J. CAPPO, MANAGER OF MIDLAND CENTER, L.L.C.

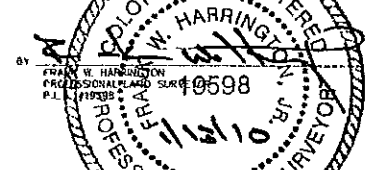
MY COMMISSION EXPIRES _____

WITNESS MY HAND AND OFFICIAL SEAL

BY: _____
NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

I, FRANK W. HARRINGTON, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS CONDOMINIUM PLAT OF MIDLAND CENTER LOT 2 CONDOMINIUMS WAS MADE UNDER MY SUPERVISION AND IT ACCURATELY REPRESENTS THE DIVISION OF THE AIR SPACE OF THE BUILDINGS WITHIN LOT 2, ACCORDING TO THE AMENDED FINAL PLAT OF MIDLAND CENTER SUBDIVISION. THIS MAP FULLY AND ACCURATELY DEPICTS THE LAYOUT, MEASUREMENTS AND LOCATIONS OF ALL OF THE BUILDINGS, CONDOMINIUM UNITS, THE COMMON ELEMENTS, THE COMMON AREAS OF THE CONDOMINIUM UNITS AND THE ELEVATIONS OF THE FLOORS, WITHIN LOT 2, AND ALL OTHER PLANS OF THE MIDLAND CENTER SUBDIVISION. THIS CONDOMINIUM PLAT REPRESENTS THE RESULTS OF MY FIELD SURVEY AND THE MEASUREMENTS FILED 30, APRIL 2010, FILE NO. 15/10598 AND THE RECORD.



CLERK AND RECORDER'S CERTIFICATE

THIS PLAT IS FILED FOR RECORD IN THE OFFICE OF THE CLERK AND RECORDER OF GARFIELD COUNTY, COLORADO, AT _____ O'CLOCK _____ M., ON THE _____ DAY OF _____, 2010.

BY: _____
CLERK AND RECORDER

BY: _____
DEPUTY

HIGH COUNTRY ENGINEERING, INC.
1517 BLAKE AVENUE, STE. 101,
GLENWOOD SPRINGS, CO. 81601
PHONE (970) 945-6676 - FAX (970) 945-2855
WWW.HCEING.COM

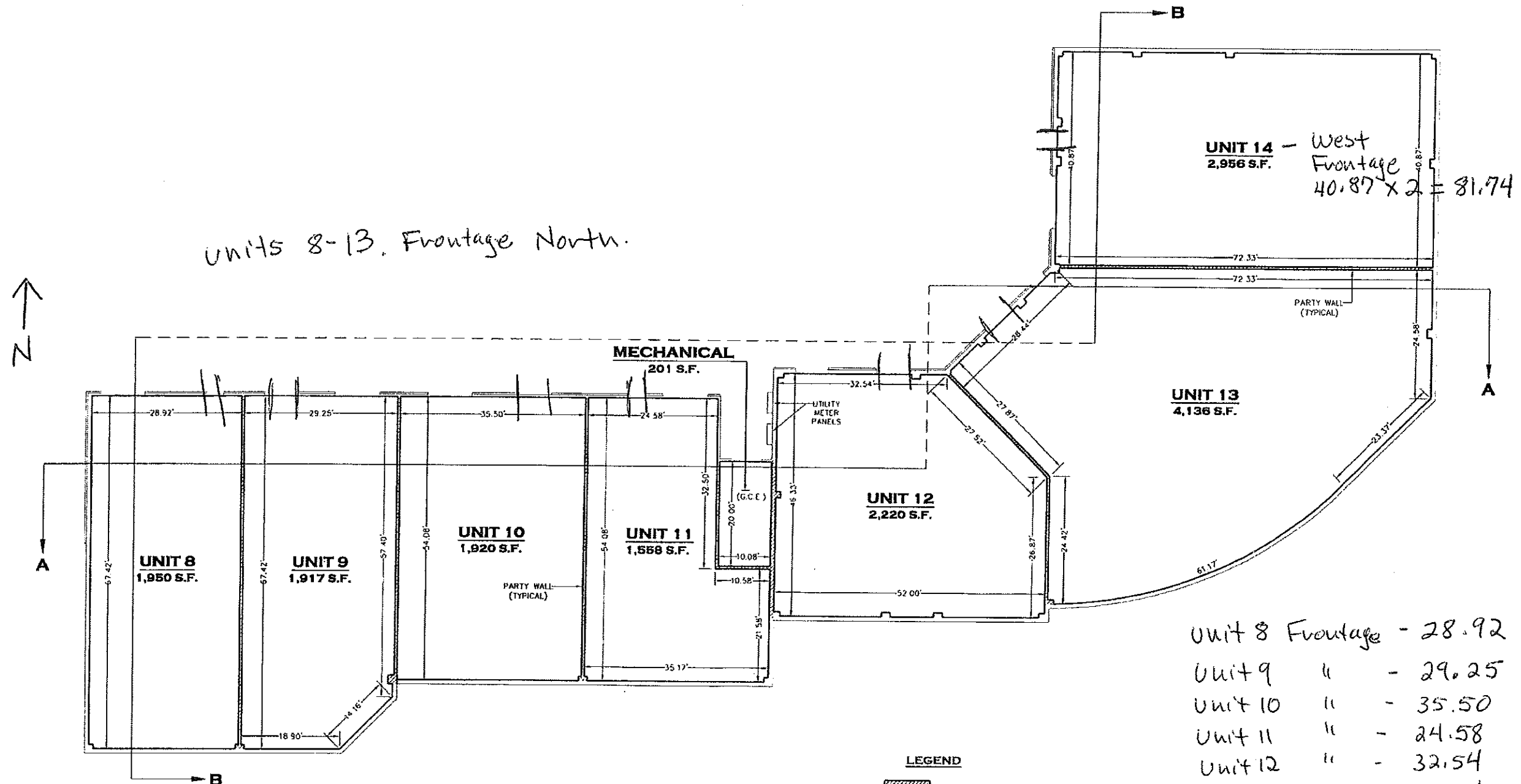


MIDLAND CENTER, LLC
GLENWOOD SPRINGS, COLORADO
CONDOMINIUM PLAT
MIDLAND CENTER LOT 2 CONDOMINIUMS
CITY OF GLENWOOD SPRINGS, COLORADO

PROJECT NO
2091661

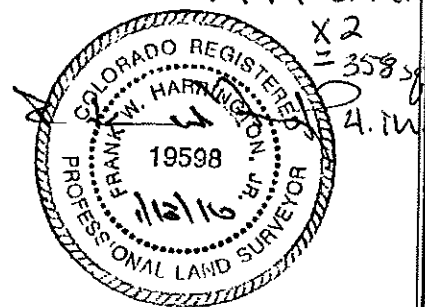
From Planning File # 37-09

**CONDOMINIUM PLAT OF
MIDLAND CENTER LOT 2 CONDOMINIUMS**
LOT 2, AMENDED FINAL PLAT OF MIDLAND CENTER SUBDIVISION PER RECEPTION NUMBER _____
CITY OF GLENWOOD SPRINGS, COUNTY OF GARFIELD, STATE OF COLORADO



Unit 8	Frontage	- 28.92
Unit 9	"	- 29.25
Unit 10	"	- 35.50
Unit 11	"	- 24.58
Unit 12	"	- 32.54
Unit 13	"	- 28.44

179 ft 2 in.



LOWER LEVEL FLOOR PLAN
SCALE: 1" = 10'

LEGEND

PARTY WALL

(G.C.E.) GENERAL COMMON ELEMENT

(L.C.E.) LIMITED COMMON ELEMENT

NOTICE: ACCORDING TO COLORADO LAW YOU MUST EXAMINE ANY LEGAL INSTRUMENT UPON WHICH THIS INSTRUMENT IS BASED PRIOR TO ANY ACTION BASED UPON ANY DEFECT IN THIS INSTRUMENT COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

HIGH COUNTRY ENGINEERING, INC.
1517 BLAKE AVENUE, STE 101,
GLENWOOD SPRINGS, CO 81601
PHONE (970) 945-6676 - FAX (970) 945-2535
WWW.HICENG.COM

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-952-1987 OR 954-9700 IN METRO DENVER CALL BEFORE YOU DIG TO AVOID DAMAGE TO UNDERGROUND UTILITIES

BY: _____
REVISION: _____
DATE: _____
NO.: _____

DESIGNED BY: FWH
DATE: 01/15/10
SCALE: 1/4" = 1'-0"

MIDLAND CENTER, LLC
GLENWOOD SPRINGS, COLORADO
CONDOMINIUM PLAT
MIDLAND CENTER LOT 2 CONDOMINIUMS
CITY OF GLENWOOD SPRINGS, COLORADO

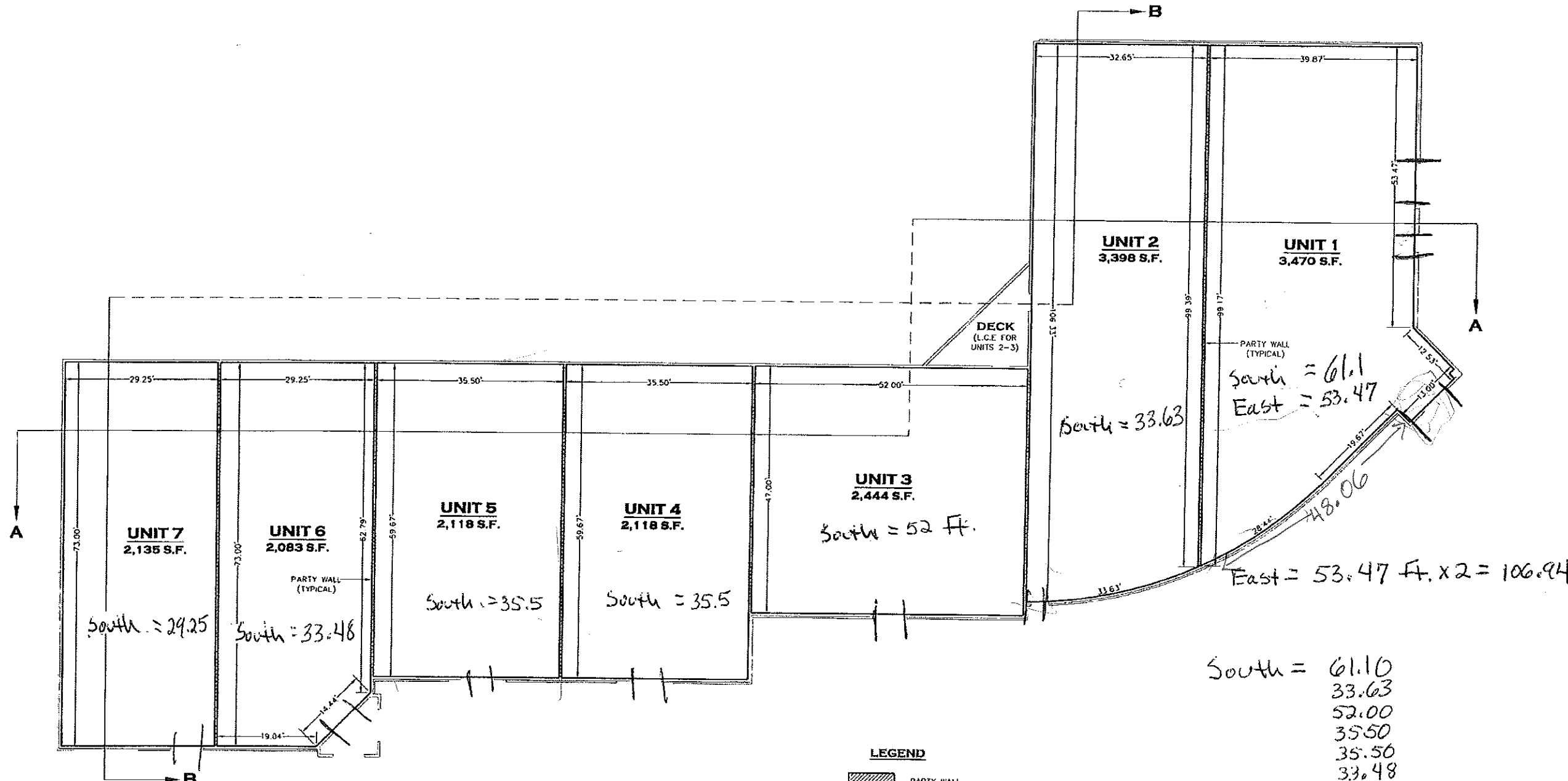
PROJECT NO:
2091661

2 OF 4
LOWER LEVEL


From Planning File 37-09

CONDOMINIUM PLAT OF
MIDLAND CENTER LOT 2 CONDOMINIUMS

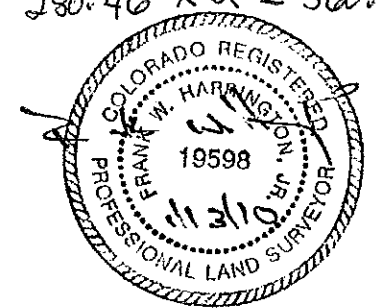
LOT 2, AMENDED FINAL PLAT OF MIDLAND CENTER SUBDIVISION PER RECEPTION NUMBER _____
 CITY OF GLENWOOD SPRINGS, COUNTY OF GARFIELD, STATE OF COLORADO



UPPER LEVEL FLOOR PLAN
 SCALE: 1" = 10'

LEGEND
 PARTY WALL
 (G.C.E.) GENERAL COMMON ELEMENT
 (L.C.E.) LIMITED COMMON ELEMENT

South = 61.10
 33.63
 52.00
 35.50
 35.50
 33.48
 29.25
 Total 280.46 x 2 = 560.92



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 1517 BLAKE AVENUE, STE 101,
 GLENWOOD SPRINGS, CO 81601
 PHONE (970) 945-6676 - FAX (970) 945-2535
 WWW.HCENG.COM



MIDLAND CENTER, LLC
 GLENWOOD SPRINGS, COLORADO
CONDOMINIUM PLAT
 MIDLAND CENTER LOT 2 CONDOMINIUMS
 CITY OF GLENWOOD SPRINGS, COLORADO

PROJECT NO
 2091661

3 OF 4
 UPPER LEVEL

NOTICE: ACCORDING TO COLORADO LAW YOU MUST CONSIDER ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST OCCUPY SAID SUBJECT. IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY OR CONDOMINUM MAPS, WITHIN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

CALL US FOR INFORMATION
 CENTER OF EXCELLENCE
 1-800-822-1987
 OR 970-945-6676
 CALL BUSINESS DAYS IN ADVANCE
 FOR A FREE CONSULTATION
 REGARDING YOUR PROJECT'S
 UNDERGROUND MEMBER UNITS

NO.	DATE	REVISION

DRAWN BY: _____
 CHECKED BY: _____
 DATE: 01/15/10
 SCALE: 1" = 10'

From Planning File 37-09