

**ELEVATION - WEST**  
1/8" = 1'-0"

**EXTERIOR MATERIAL QUANTITIES**

TOTAL EXTERIOR WALLS		TOTAL INCLUDING ROOF	
METALS - EARTH TONE RED	12.14 SF 4%	METALS - EARTH TONE RED (INCLUDES ROOF)	22.432 SF 34%
DOORS, WINDOWS, SASHES	4.474 SF 28%	DOORS, WINDOWS, SASHES	4.474 SF 11%
MASONRY - EARTH TONE BRICK	3.074 SF 19%	MASONRY - EARTH TONE BRICK	3.074 SF 5%
ELFA - EARTH TONE BROWN (1)	2.513 SF 14%	ELFA - EARTH TONE BROWN (1)	15.12 SF 14%
ELFA - LIGHT BROWN SAND GREEN (2)	1.512 SF 8%	ELFA - LIGHT BROWN SAND GREEN (2)	34.523 SF 100%
TOTALS	16.221 SF 100%	TOTALS	34.523 SF 100%

WINDOW SCHEDULE FOR WEST ELEVATION

KEY	QTY	TYPE	R.O. WITH HEIGHT	ADJACENCY
A	1	DIRECT SET	8'-0" X 2'-0"	
B	1	SINGLE HUNG	8'-0" X 3'-0"	
C	2	DIRECT SET	8'-0" X 4'-0"	
D	2	DIRECT SET	8'-0" X 10'-0"	
E	4	SLIDER	8'-0" X 3'-0"	
F	2	DIRECT SET	8'-0" X 3'-0"	
G	2	DIRECT SET	14'-0" X 2'-0"	
H	4	DIRECT SET	8'-0" X 3'-0"	
I	8	DIRECT SET	8'-0" X 3'-0"	
J	12	DIRECT SET	7'-6" X 3'-0"	
K	4	DIRECT SET	2'-6" X 3'-0"	
L	1	DIRECT SET	8'-0" X 12'-0"	
M	1	DIRECT SET	8'-0" X 15'-0"	
N	9	DIRECT SET	8'-0" X 4'-0"	
O	8	SLIDER	8'-0" X 4'-0"	
P	20	SINGLE HUNG	8'-0" X 4'-0"	
Q	10	SINGLE HUNG	8'-0" X 4'-0"	
R	4	DIRECT SET	8'-0" X 4'-0"	
S	4	SLIDER	8'-0" X 4'-0"	
T	1	DIRECT SET	8'-0" X 4'-0"	
U	8	DIRECT SET	8'-0" X 4'-0"	SET ABOVE DOOR
V	1	DIRECT SET	8'-0" X 2'-0"	SET ABOVE DOOR
W	2	DIRECT SET	12'-0" X 2'-0"	SET ABOVE DOOR
X	1	DIRECT SET	8'-0" X 8'-0"	
Y	1	DIRECT SET	8'-0" X 8'-0"	
Z	1	DIRECT SET	10'-0" X 2'-0"	

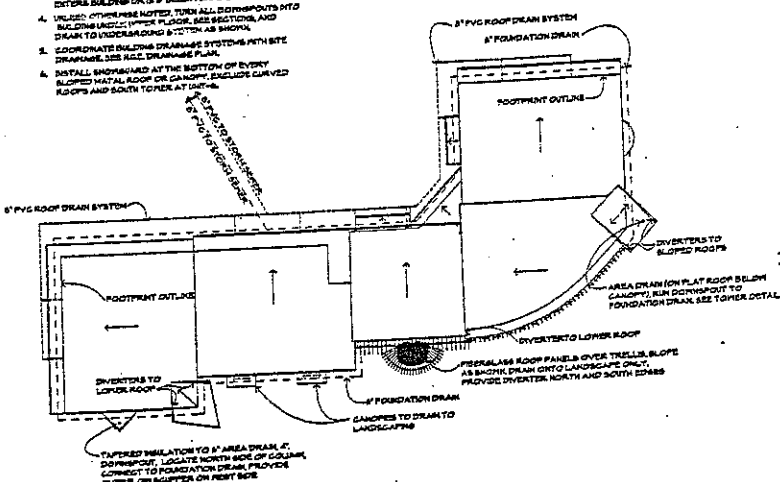
WINDOW SCHEDULE

91	2	DIRECT SET	3'-0" X 8'-0"
92	2	DIRECT SET	2'-0" X 8'-0"
93	1	DIRECT SET	7'-0" X 2'-0"
94	1	DIRECT SET	2'-0" X 3'-0"
95	1	DIRECT SET	10'-0" X 2'-0"

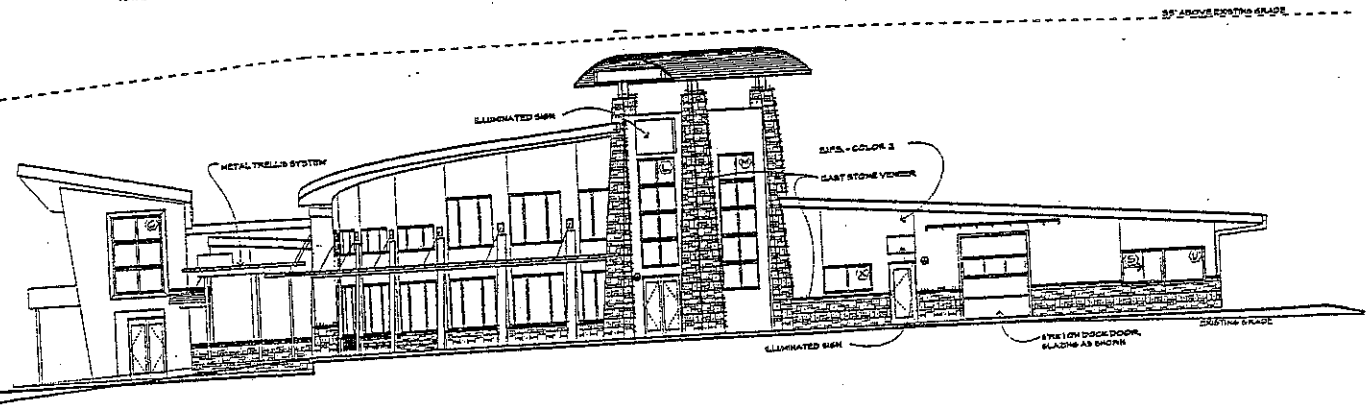
NOTES:  
1. SEE ELEVATIONS FOR HANG AND OPENING.  
2. SEE ELEVATIONS FOR ALL WINDOW TYPES "A", "T", "U" AS ONE UNIT ON SOUTH ELEVATION ONLY.  
3. HANGING SYSTEMS NOTED: ALL SLIDERS TO BE TOP EDGE GLAZED.  
4. HANGER HEIGHT AND FINISHED TRIM TO BE PLUMB WITH HEADER AND TRIM FOR TYPICAL EXTERIOR DOORS, (TYP.)  
5. SEE DETAIL FOR TYPICAL WINDOW DETAIL (TYP.)

**DRAINAGE NOTES**

- UNLESS OTHERWISE NOTED, DO NOT CONNECT ROOF DRAINS TO FOUNDATION DRAIN.
- UNLESS OTHERWISE NOTED, ALL BUTTERS AND DOWNPOUNTS ARE 4" SQUARE, PAINT TO MATCH ROOF.
- PROVIDE 225 MIN. HEAT TAPES ON ALL BUTTERS AND DOWNPOUNTS, MIN. HEAT TAPES UNTIL DOWN SPOUT EXTERIOR BUILDING OR IS 8' BELOW GRADE MIN.
- UNLESS OTHERWISE NOTED, TURN ALL DOWNPOUNTS INTO DRAIN TO UNDERLAPPING BUTTER, SEE SECTIONS, AND INCLUDE UNDERLAPPING BUTTER AS SHOWN.
- COORDINATE ALL DRAINAGE SYSTEMS WITH SITE DRAINAGE, SEE SEE DRAINAGE PLAN.
- INSTALL INSULATION AT THE BOTTOM OF EVERY SLOPED METAL ROOF OR CANOPY, EXCEPT CURVED ROOFS AND SOUTH TERRACE AT 2" MIN.



**BUILDING DRAINAGE DIAGRAM**  
1" = 30'-0"



**ELEVATION - EAST**  
1/8" = 1'-0"

revised date: 0  
project no.: 0  
drawing title: R/C  
sheet: 09/1  
date: 09/1  
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MIDLAND CENTER  
101 MIDLAND CENTER, GLENWOOD SPRINGS, COLORADO

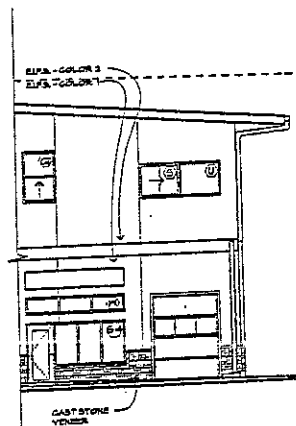
32' ABOVE FINISH GRADE



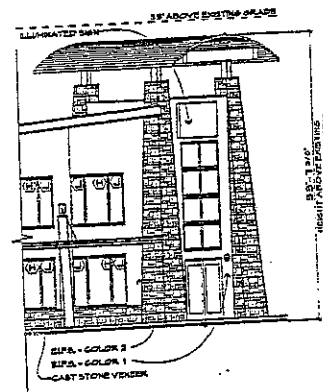
**ELEVATION - SOUTH**  
1/8" = 1'-0"

**EXTERIOR MATERIAL QUANTITIES**

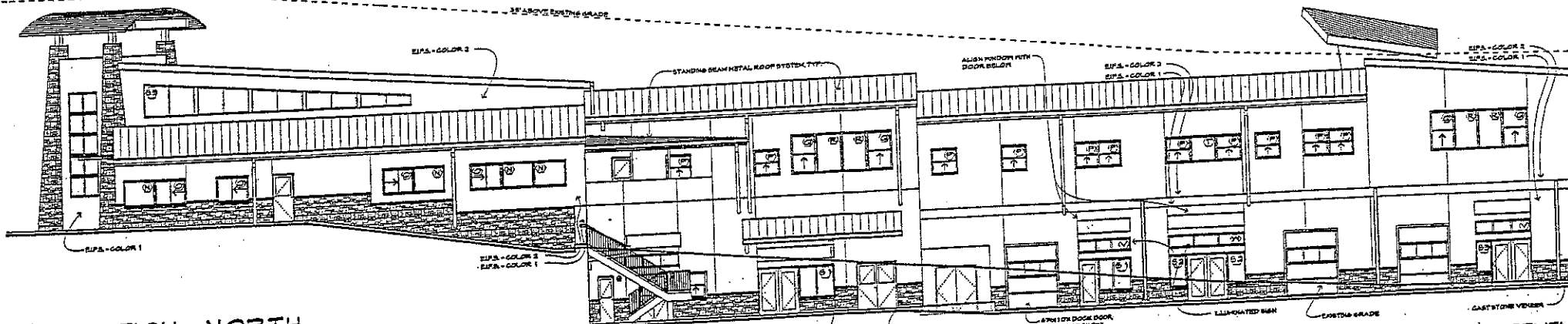
TOTAL EXTERIOR WALLS		TOTAL INCLUDING ROOF	
METALS - EARTH TONE RED	1,814 SF 4%	METALS - EARTH TONE RED (INCLUDED ROOF)	22,483 SF 34%
DOORS, WINDOWS, SIGNED	4,475 SF 35%	DOORS, WINDOWS, SIGNED	4,475 SF 11%
HANDRAILS - EARTH TONE BROWN	2,074 SF 11%	HANDRAILS - EARTH TONE BROWN	2,074 SF 3%
EIFS - EARTH TONE BROWN (1)	2,525 SF 14%	EIFS - EARTH TONE BROWN (1)	2,525 SF 3%
EIFS - LIGHT DUSTY SAND GREEN (2)	5,151 SF 28%	EIFS - LIGHT DUSTY SAND GREEN (2)	7,112 SF 10%
<b>TOTALS</b>	<b>16,265 SF 100%</b>	<b>TOTALS</b>	<b>34,525 SF 100%</b>



**PARTIAL ELEVATION - NORTH**  
1/8" = 1'-0"



**PARTIAL ELEVATION - SOUTH**  
1/8" = 1'-0"



**ELEVATION - NORTH**  
1/8" = 1'-0"

DEVELOPMENT PERMIT

revised dates  
project no. R  
drawn by: R  
checked by: OB  
date: 08  
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26  
MIDLAND CENTER  
LOT 2, MIDLAND CENTER, GLENWOOD SPRINGS, COLORADO  
6 of 6

# PROJECT INFORMATION

OWNER: MIDLAND CENTER, LLC  
ALAN J. CAFFO, PRESIDENT

PROJECT: 3-LEVEL "SHELL" BUILDING WITH WAREHOUSING AND MERCANTILE ON UPPER LEVEL. TENANT FINISHES TO BE UNDER SEPARATE CONTRACT.

CONSTRUCTION: PILE AND GRADE BEAM FOUNDATION SYSTEM AND SLAB ON GRADE WITH STEEL FRAME.

GENERAL FINISHES: LIGHT GAUGE FRAMED WALLS TO BE FINISHED IN STUCCO WITH COLORED BASE OF WALLS TO RECEIVE HASONRY VENEER. ROOF IS STANDING BEAM METAL ENTRY ROOFS, AND CANOPIES SHALL BE METAL.

LOCATION: LOT 2, MIDLAND CENTER SUBDIVISION IN THE CITY OF GLENWOOD SPRINGS, COUNTY OF GARFIELD, STATE OF COLORADO  
ZONING: C-1, G-8. SEE SUBDIVISION PLAN FOR SETBACKS AND ELEVATIONS FOR BUILDING HEIGHTS

GOVERNING CODE: 2008 INTERNATIONAL BUILDING CODE AND ALL GLENWOOD SPRINGS ADDITIONS AND AMENDMENTS  
OCCUPANCY: M, B, F-1, S-1. SEE DIAGRAMS & CHARTS ON THIS SHEET  
CONSTRUCTION TYPE: TYPE I-N, FULLY SPRINKLERED

AREA DATA: BUILDING  
UPPER LEVEL 17,405 GROSS SF  
LOWER LEVEL 16,183 GROSS SF  
TOTAL 34,588 GROSS SF

LOT 2  
BUILDING FOOTPRINT AREA 18,682 SF  
DECK & STAIRS 885 SF  
ASPHALT, CURB, & GUTTER 48,024 SF  
PLATWORK 9,676 SF  
LANDSCAPE AREA 21,644 SF  
APPROX. TOTAL LOT AREA 43,588 SF (2.15 ACRES)  
SNOW STORAGE REQUIRED = 10,600 SF, 80% REMOVED EQUALS 9304 STORED ON-SITE. 7,185 SF IS PROVIDED, SEE LANDSCAPE PLAN

DESIGN LOADS: ROOF - 40 PSF LIVE + 20 PSF DEAD  
FLOOR - 125 PSF LIVE + 53 PSF DEAD  
WIND - 70 MPH, EXPOSURE C  
SEISMIC - ZONE 1  
SOILS INFORMATION - SEE SPECIFICATIONS

PARKING: GENERAL OFFICE - 12,194 SF/800 = 43  
RETAIL - 6,922 SF/400 = 32  
WAREHOUSE - 13,942 SF/1000 = 7  
ASSEMBLY/CLUB/MEET - 548 SF/95 = 16  
TOTAL PARKING SPACE REQ. = 88  
98 PROVIDED, INCLUDES 3 HC (1 VAN)  
(CALCULATIONS BASED ON NET SF)

## SHEET INDEX

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## OCCUPANT LOAD PER UNIT

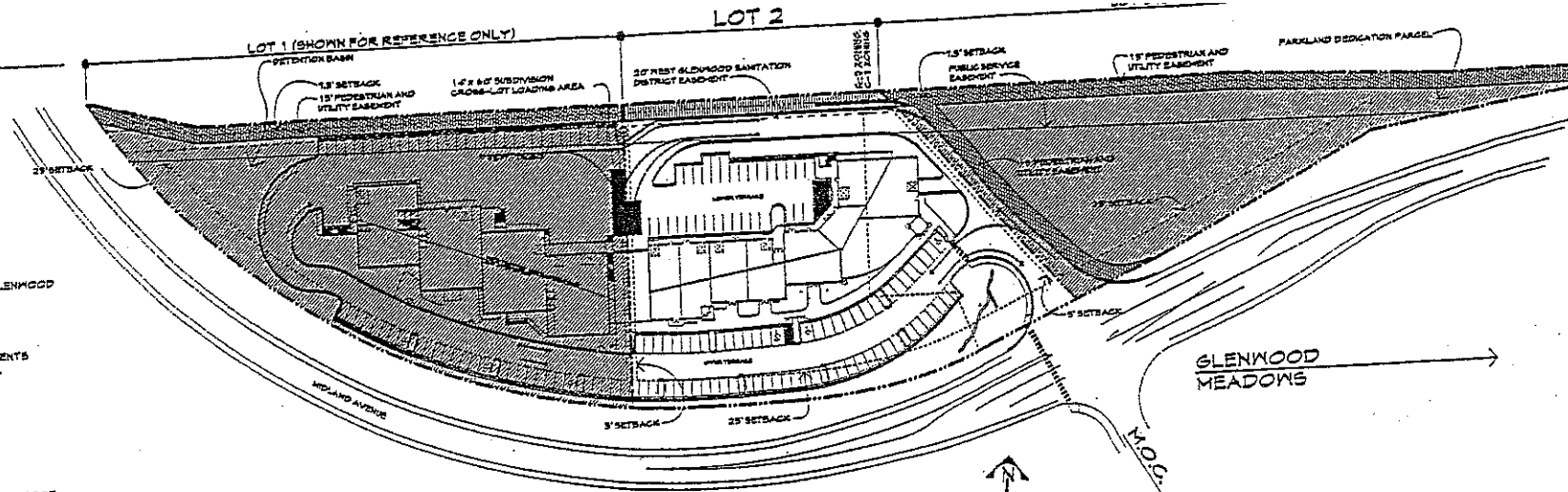
OCCUPANCY	UNIT-1 (M) 3,004 GROSS SF.		UNIT-2 (M) 3,870 GROSS SF.		UNIT-3 (M) 2,444 GROSS SF.		UNIT-4 (M) 2,182 GROSS SF.		UNIT-5 (M) 2,182 GROSS SF.		UNIT-6 (B) 2,003 GROSS SF.		UNIT-7 (B) 2,193 GROSS SF.	
	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS
BUSINESS (100)	30%	12	30%	12	30%	0	20%	5	20%	5	75%	16	75%	17
INDUST. AREAS (100)	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0
MERC. AREAS (50)	45%	46	45%	84	45%	37	53%	41	10%	1	0%	0	0%	0
MERC. STOCK (500)	10%	3	10%	2	10%	1	10%	1	0%	0	10%	0	0%	0
ACCESS STORAGE (500)	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	18%	0
WAREHOUSE (500)	0%	0	10%	0	15%	0	15%	0	15%	0	15%	0	18%	0
TOTALS	100%	97	100%	78	100%	46	100%	47	100%	47	100%	17	100%	18

\* MISC. INCLUDES: CORRIDORS, STAIRWAYS, TOILET ROOMS, MECHANICAL ROOMS, CLOSETS, HALL THICKNESS, ELEVATORS, COLUMNS, STAFF MEETING ROOMS, BREAK AREAS, ETC.

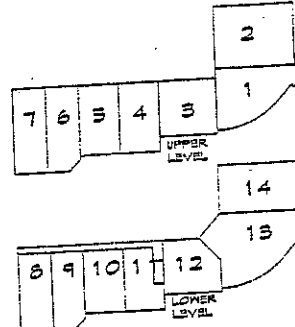
## OCCUPANT LOAD PER UNIT

OCCUPANCY	UNIT-8 (B) 1,492 GROSS SF.		UNIT-9 (B) 1,413 GROSS SF.		UNIT-10 (B) 1,420 GROSS SF.		UNIT-11 (F-1) 1,613 GROSS SF.		UNIT-12 (S-1) 2,227 GROSS SF.		UNIT-13 (M/S-1) 4,134 GROSS SF.		UNIT-14 (M/S-1) 2,474 GROSS SF.	
	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS	% of SF	# of OCCUPANTS
BUSINESS (100)	75%	15	75%	13	75%	13	20%	4	10%	5	18%	0	0%	0
INDUST. AREAS (100)	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0
MERC. AREAS (50)	0%	0	0%	0	0%	0	0%	0	0%	0	33%	0	40%	40
MERC. STOCK (500)	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0
ACCESS STORAGE (500)	10%	1	10%	1	10%	1	30%	3	30%	3	4%	4	30%	3
WAREHOUSE (500)	0%	0	15%	0	15%	0	15%	0	10%	0	15%	0	15%	0
TOTALS	100%	16	100%	13	100%	15	100%	12	100%	7	100%	40	100%	47

\* MISC. INCLUDES: CORRIDORS, STAIRWAYS, TOILET ROOMS, MECHANICAL ROOMS, CLOSETS,



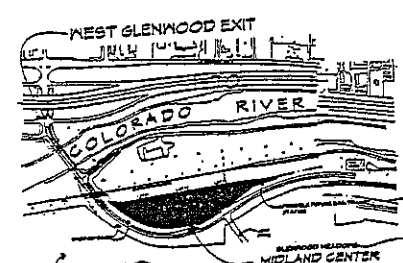
MIDLAND CENTER SUBDIVISION PLAN  
1" = 60' - 0"



POTENTIAL TENANT LOCATION DIAGRAM  
NOTE: THIS DIAGRAM TO BE USED AS A GUIDE FOR INSTALLATION OF UTILITIES, METERS, HVAC EQUIPMENT ETC.

## PROJECT GENERAL NOTES

- ALL CONSTRUCTION TO BE PER CURRENT CITY OF GLENWOOD CODES AND SPECIFICATIONS.
- INSTALL FIRE SPRINKLER SYSTEM TO CODE THROUGHOUT BUILDING.
- EXPECT AS NOTED FOR SPECIAL CONDITIONS THE CONTRACTOR SHALL CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE MIDLAND CENTER SUBDIVISION BOUNDARY. ANY DAMAGE TO PROPERTY OUTSIDE THE MIDLAND CENTER SUBDIVISION BOUNDARY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- COMPLY WITH MANUFACTURERS RECOMMENDATIONS IN REGARDS TO PRODUCT HANDLING AND INSTALLATION FOR ALL FIXTURES AND EQUIPMENT.
- CONTRACTOR SHALL KEEP ALL FINISHED SURFACES FREE FROM DAMAGE UNTIL COMPLETION OF WORK AND APPROVAL OF OWNER.
- CLEANING:
  - CONTRACTOR SHALL MAINTAIN THE JOB SITE AND THE WORK IN A NEAT AND CLEAN STATE.
  - EACH TRADE IS RESPONSIBLE FOR DEBRIS.
  - CONTRACTOR SHALL MAINTAIN A DUMPSTER AND BE OVERALL RESPONSIBLE FOR CLEAN-UP, INCLUDING TRASH AND/OR DEBRIS BLOWN FROM THE SITE.
  - PROVIDE RECYCLING BINS FOR APPROPRIATE MATERIALS. COORDINATE RECYCLING WITH LOCAL AUTHORITIES.
  - FINAL CLEANING AT CONTRACT CLOSEOUT TO BE SPOTLESS.
- CONTRACTOR SHALL MAINTAIN AND PROTECT A JOB SET OF RECORD PROJECT DOCUMENTS. AT COMPLETION, TRANSFER ALL RECORDED DATA TO THE FINAL DOCUMENTS.
- CONTRACTOR TO PROVIDE TWO COPIES OF OPERATION & MAINTENANCE MANUALS THAT INCLUDE ALL SUPPLIES AND MANUFACTURER'S INSTRUCTIONS ALONG WITH ALL WARRANTIES.
- CONTRACTOR TO COORDINATE SCOPE OF WORK WITH EXISTING CONDITIONS AND JOB/SITE REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL DRAWINGS, DIMENSIONS, SECTIONS, AND DETAILS. IF A DISCREPANCY OCCURS IN THE DRAWINGS:
  - DETAILS RULE OVER GENERAL DRAWINGS.
  - WRITTEN DIMENSIONS RULE OVER SCALE. (DO NOT SCALE DRAWINGS)
  - SPECIFICATIONS RULE OVER GENERAL COMMENTS.
  - DETAILS, AS DRAWN ARE TYPICAL ONLY WHEN NOTED AS SUCH.
  - NOTIFY ARCHITECT OF DISCREPANCIES, SPECIAL CONDITIONS, CHANGES OF CONDITIONS AND PROPOSED DEVIATIONS BEFORE PROCEEDING WITH WORK.



LOCATION PLAN  
NTS

DEVELOPMENT PERMIT

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 project in: \_\_\_\_\_  
 drawn by: \_\_\_\_\_  
 checked: \_\_\_\_\_  
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 MIDLAND CENTER  
 1 of 6

## IRRIGATION NOTES

ALL SOG AREAS TO RECEIVE PERMANENT SPRINKLER SYSTEM, TREES AND SHRUBS TO RECEIVE PERMANENT TRICKLE SYSTEM, ALL OTHER AREAS TO RECEIVE TEMPORARY SYSTEM UNTIL PLANTINGS ARE ESTABLISHED.

THE BLDG CONTRACT TO INCLUDE IRRIGATION SYSTEM ROUGH-IN AT MECH. ROOM AND 2" PVC SLEEVES AS SHOWN ON THIS PLAN. LANDSCAPING & IRRIGATION SYSTEM SHALL BE BY OWNER. SHOWN FOR REFERENCE ONLY.

2" PVC SLEEVE

## LANDSCAPE NOTES

- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL SHRUB BEDS AND TREES TO BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATE.
- ALL TREES TO BE BALLED AND BURLAPPED OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION AS REQUIRED BY SITE CONDITIONS. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES ILLUSTRATED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. MINOR CHANGES MAY BE SUBJECT TO PLANNING APPROVAL THROUGH THE MINOR AMENDMENT TO PLANNING PERMITS. ALL ON-SITE LANDSCAPING MUST BE INSTALLED OR SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT, FOR 125% OF THE VALUATION OF THE LABOR AND MATERIALS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING THE PLANTINGS IN PUBLIC STREET RIGHTS-OF-WAY.
- THE IRRIGATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE CITY'S WATER DEPARTMENT.
- CONTRACTOR SHALL INSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPING ELEMENTS ON THIS PLAN.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED, OR SOIL AMENDMENTS SUCH AS COMPOST, PEAT OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED AT A RATE OF AT LEAST 3 CUBIC YARDS PER 1000 SQ FT.
- ALL SHRUB BEDS TO BE 1 1/2" MASHED RIVER ROCK BOTTOM AGGREGATE AT ALL PLANTER BEDS (TYPICAL).

## LANDSCAPE SPECIES & QUANTITY

DECIDUOUS TREES — 5T (3 AT 8" GAL, 2 AT 2" GAL)  
 DECIDUOUS SHRUBS — 54  
 EVERGREEN TREES — 25 (3 AT 10", 22 AT 8")  
 EVERGREEN SHRUBS — 52

GROUND COVER AT PARKING ISLANDS TO BE MASHED 2" MIN. RIVER ROCK. SOG AREAS ARE AS NOTED (6" & 10" SP). ALL OTHER LANDSCAPE AND DISTURBED AREAS NOT OTHERWISE DEVELOPED TO BE NATIVE SEED.

NOTE: SPECIES TO MATCH LANDSCAPING ON LOT 1 AND CHOSEN FROM THE LIST BELOW. QUANTITY OR SPECIFIC SPECIES TO BE DETERMINED AT INSTALLATION ACCORDING TO AVAILABILITY. SUBSTITUTIONS SUBJECT TO THE APPROVAL OF THE COMMUNITY DEVELOPMENT DIRECTOR.

SHRUBS	TREES
ARMSTRONGS JUNIPER	AMERICAN LINEN
ALPINE CUREANT	AMUR MAPLE
COMMON LILAC (LAVENDER)	AUSTRIAN PINE (7' TALL)
COMPACT EUROPEAN CRANBERRY	BRANDYBINE CRABAPPLE
GOLD DROP PONTENTILLA	SIXTOOTH MAPLE
HOLBERT JUNIPER	COLORADO BLUE SPRUCE
EMERALD MOUND HONEYSUCKLE	DOLGO CRABAPPLE
MUSCO PINE	HACKBERRY
RED LEAF BARBERRY	SKYLINE HONEYLOCUST
SNOWBERRY	AUTUMN PURPLE ASH
SEA GREEN JUNIPER	
SIBERIAN PEASHRUB	
ANTHONY WATERER SPIREA	

NOTE: ALL SHRUBS SHALL BE 5 GAL SIZE

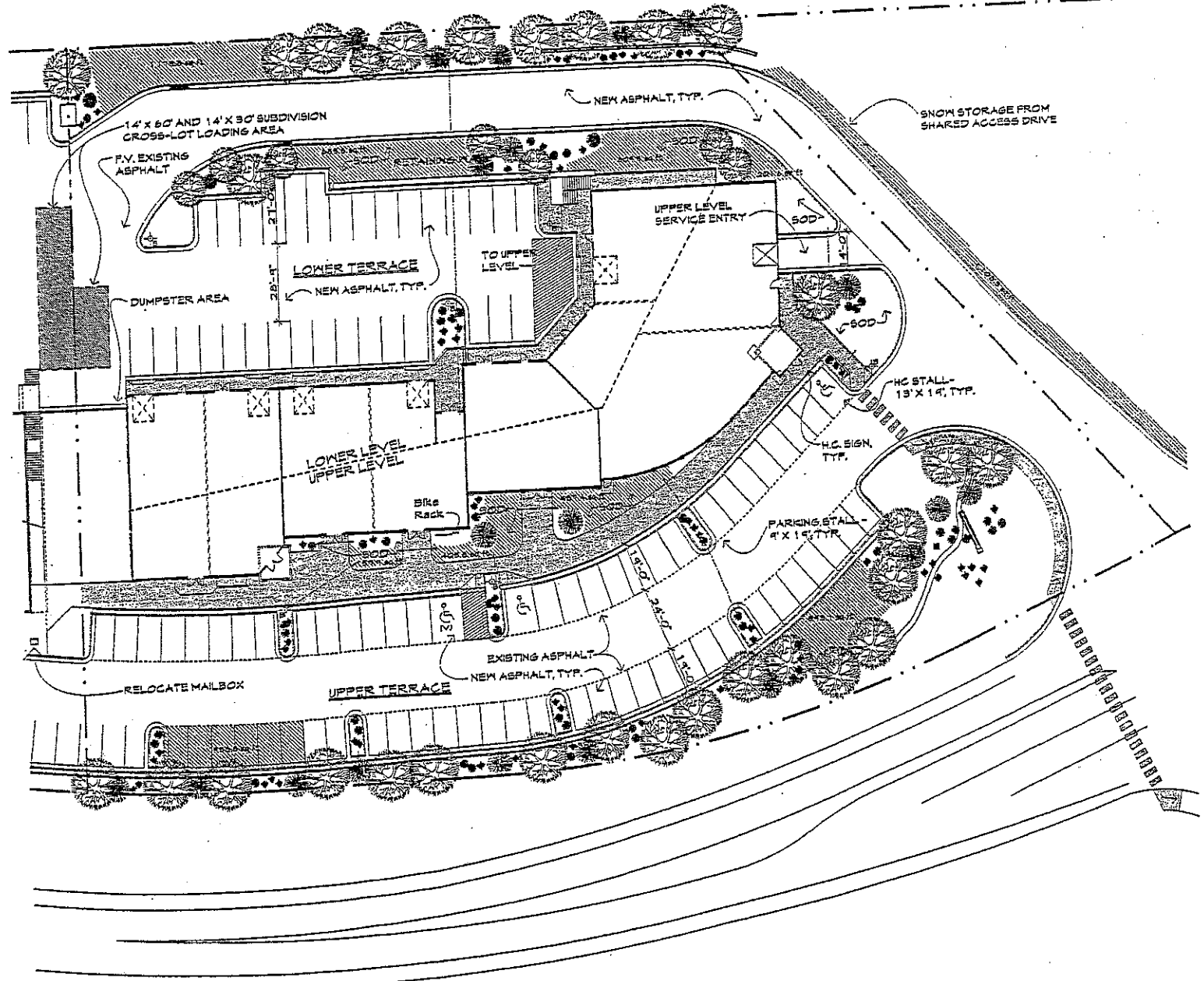
## SYMBOLS LEGEND

	CONCRETE FLATWORK		SNOW STORAGE
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## EXTERIOR LIGHTING

- BOLLARD - SPECIFICATION TO MATCH LIGHTING ON LOT 1, TYP. OF 1 AS SHOWN
- ALL EXTERIOR LIGHTING TO BE PHOTOCELL-ON/TIMER-OFF, SET AT 10:00 PM OR 1 HOUR AFTER CLOSING.
  - ALL EXTERIOR DOORS TO RECEIVE LIGHT PER CODE AND CITY OF GLENWOOD ORDINANCE. DOORS WITH CANOPY TO RECEIVE DOWNLIGHT IN SOFFIT, DOORS WITHOUT CANOPY TO RECEIVE HALL SCONCE, SEE ELEVATIONS.
  - THERE ARE NO OVERHEAD PARKING LOT LIGHTS OR POLES THIS PROJECT.

## SITE / LANDSCAPE PLAN



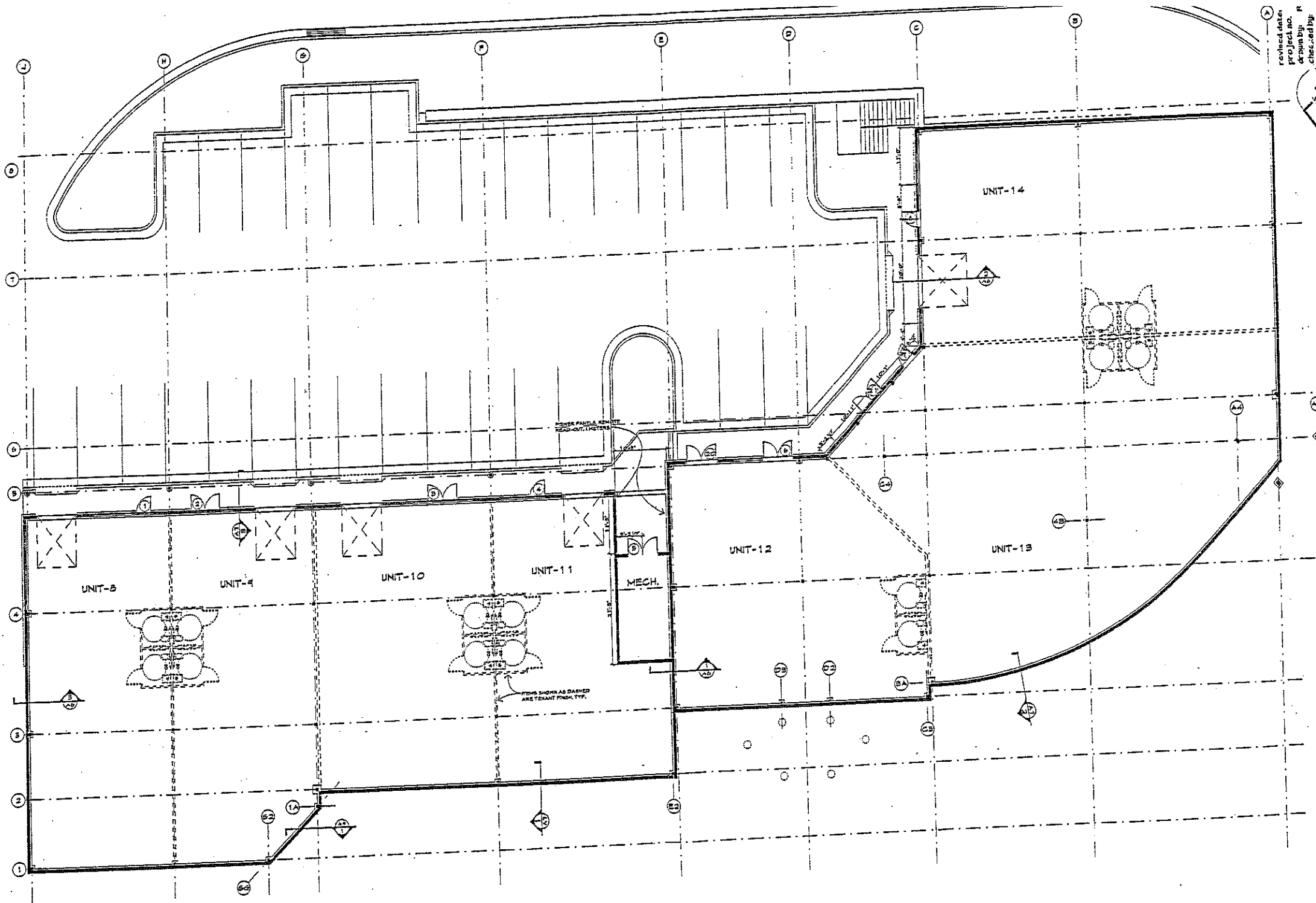
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FLOOR PLAN - LOWER LEVEL

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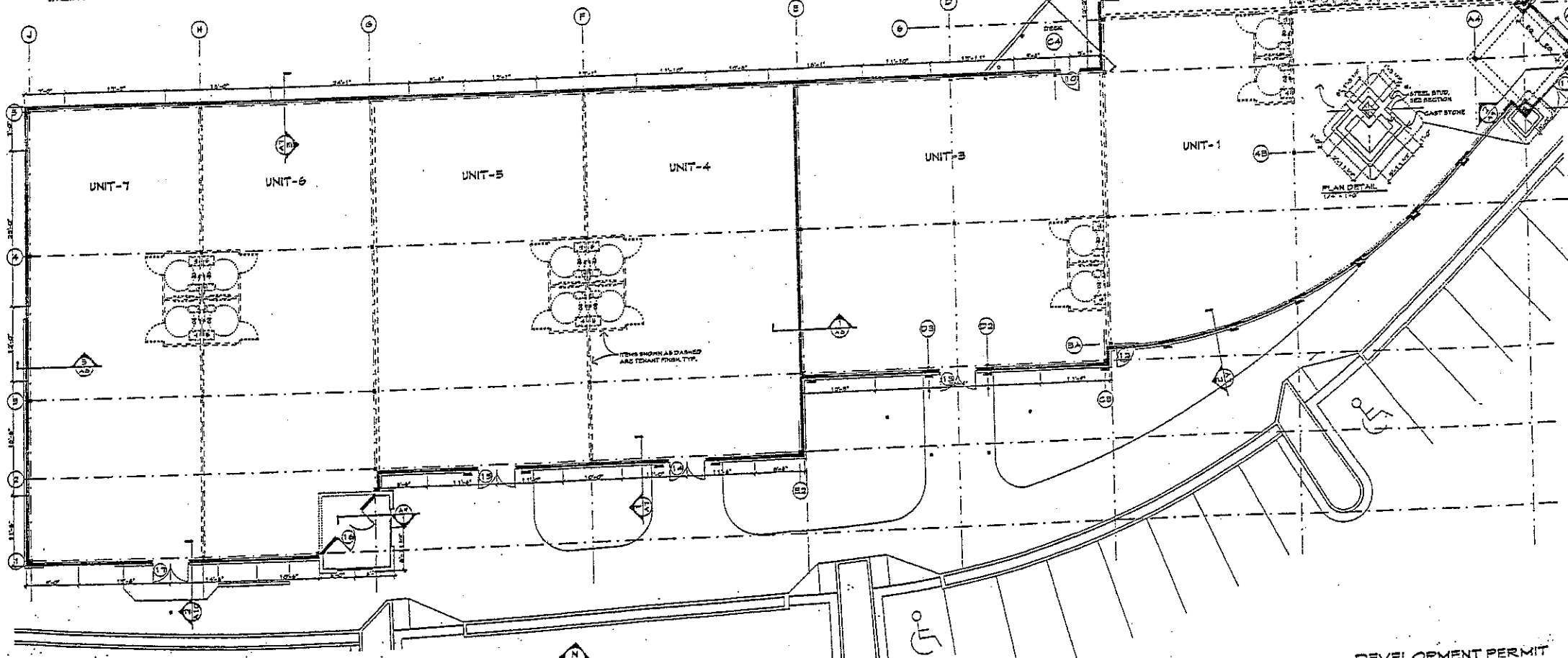
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MIDLAND CENTER  
 157 1/2 MIDLAND CENTER, GLENWOOD SPRINGS, COLORADO

**DOOR SCHEDULE**

KEY	TYPE	SIZE	GLAZING	HARDWARE
1	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
2	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
3	METAL DOOR	8'-0" X 7'-0"	HALF-LITE	ALUMINUM
4	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
5	METAL DOOR	8'-0" X 7'-0"	HALF-LITE	ALUMINUM
6	METAL DOOR	8'-0" X 7'-0"	HALF-LITE	ALUMINUM
7	METAL DOOR	8'-0" X 7'-0"	HALF-LITE	ALUMINUM
8	METAL DOOR	8'-0" X 7'-0"	HALF-LITE	ALUMINUM
9	METAL DOOR	8'-0" X 7'-0"	HALF-LITE	ALUMINUM
10	METAL DOOR	8'-0" X 7'-0"	HALF-LITE	ALUMINUM
11	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
12	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
13	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
14	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
15	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
16	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
17	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
18	ALUMINUM	8'-0" X 7'-0"	FULL-LITE	ALUMINUM
19	METAL DOOR	8'-0" X 7'-0"	HALF-LITE	ALUMINUM
20	METAL DOOR	8'-0" X 7'-0"	HALF-LITE	ALUMINUM
21	METAL DOOR	8'-0" X 7'-0"	HALF-LITE	ALUMINUM

- NOTES:  
 1. SEE PLANS FOR HANDS AND OPENING  
 2. UNLESS OTHERWISE NOTED, ALL GLAZING TO BE LOW-E DOUBLE GLAZED, SAFETY GLAZING  
 3. VERIFY REFRIGERANT PIPING SPECIFICATIONS  
 4. METAL DOOR COULDS TO MATCH ROOF  
 5. ALL HARDWARE TO BE LEVER TYPE



**FLOOR PLAN - UPPER LEVEL**

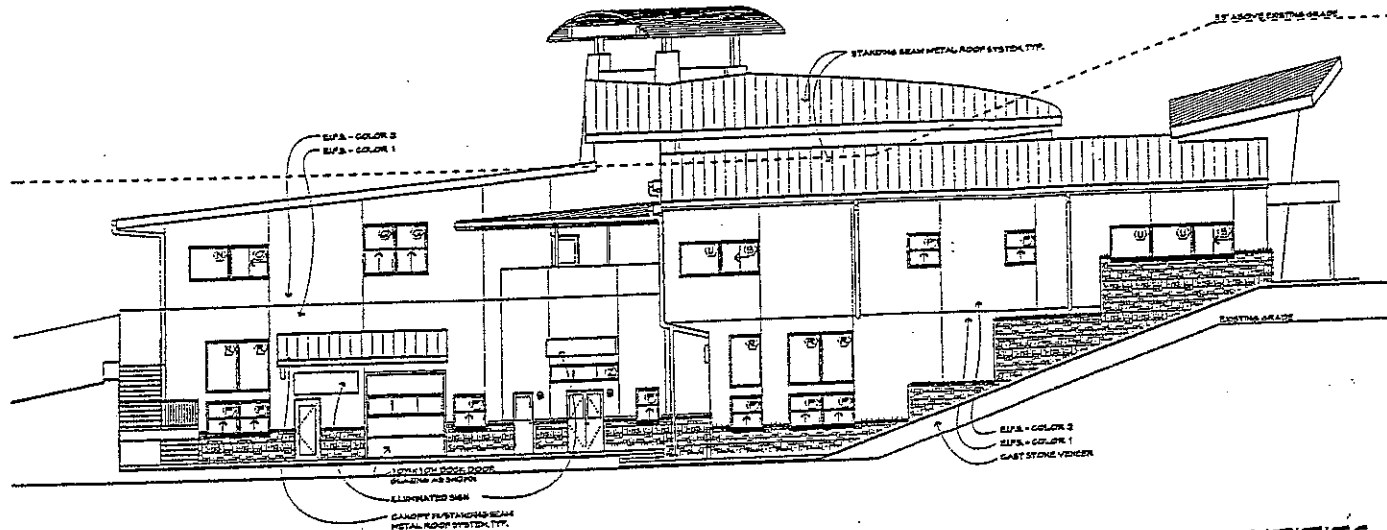
revised date: \_\_\_\_\_  
 project no.: \_\_\_\_\_  
 drawing by: R  
 checked by: \_\_\_\_\_  
 date: \_\_\_\_\_  
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 101 BLAKE AVENUE, GLENWOOD SPRINGS, CO 81601 970-945-7201

**MIDLAND CENTER**  
 LOT 2, MIDLAND CENTER, GLENWOOD SPRINGS, COLORADO

DEVELOPMENT PERMIT



**ELEVATION - WEST**  
1/8" = 1'-0"

**EXTERIOR MATERIAL QUANTITIES**

TOTAL EXTERIOR WALLS		TOTAL INCLUDING ROOF	
METALS - EARTH TONE RED	1,814 SF 4%	METALS - EARTH TONE RED (INCLUDING ROOF)	22,482 SF 94%
DOORS, WINDOWS, SILLS	4,478 SF 28%	DISCS, FIBROGLASS	4,478 SF 11%
MASONRY - EARTH TONE BRICK	2,074 SF 11%	MASONRY - EARTH TONE BRICK	2,074 SF 5%
EIFS - EARTH TONE BRICK (1)	2,538 SF 14%	EIFS - EARTH TONE BRICK (1)	2,538 SF 4%
EIFS - EARTH TONE BRICK (2)	7,312 SF 41%	EIFS - LIGHT DUTY BRICK SYSTEM (2)	7,312 SF 14%
EIFS - LIGHT DUTY BRICK SYSTEM (2)	16,071 SF 100%	TOTALS	24,528 SF 100%

**WINDOW SCHEDULE FOR VETTER PROV**

KEY	QTY	TYPE	A.O. WIDTH X HEIGHT	REMARKS
A	1	DIRECT SET	8'-0" X 2'-0"	
B	1	SMALL HAMB	4'-0" X 5'-0"	
C	2	DIRECT SET	8'-0" X 4'-0"	
D	2	DIRECT SET	4'-0" X 10'-0"	
E	4	GLIDER	4'-0" X 5'-0"	
F	2	DIRECT SET	8'-0" X 5'-0"	
G	2	DIRECT SET	18'-0" X 2'-0"	
H	4	DIRECT SET	4'-0" X 8'-0"	
I	8	DIRECT SET	4'-0" X 5'-0"	
J	10	DIRECT SET	2'-0" X 8'-0"	
K	4	DIRECT SET	2'-0" X 8'-0"	
L	1	DIRECT SET	8'-0" X 10'-0"	
M	1	DIRECT SET	8'-0" X 10'-0"	
N	1	DIRECT SET	8'-0" X 4'-0"	
O	8	GLIDER	8'-0" X 4'-0"	
P	20	SMALL HAMB	4'-0" X 4'-0"	
Q	10	SMALL HAMB	4'-0" X 8'-0"	
R	4	DIRECT SET	8'-0" X 8'-0"	
S	4	GLIDER	8'-0" X 8'-0"	
T	1	DIRECT SET	8'-0" X 8'-0"	
U	3	DIRECT SET	8'-0" X 8'-0"	
V	1	DIRECT SET	4'-0" X 2'-0"	SET ABOVE DOOR
W	2	DIRECT SET	10'-0" X 2'-0"	SET ABOVE DOOR
X	1	DIRECT SET	8'-0" X 8'-0"	
Y	1	DIRECT SET	8'-0" X 8'-0"	
Z	1	DIRECT SET	10'-0" X 8'-0"	

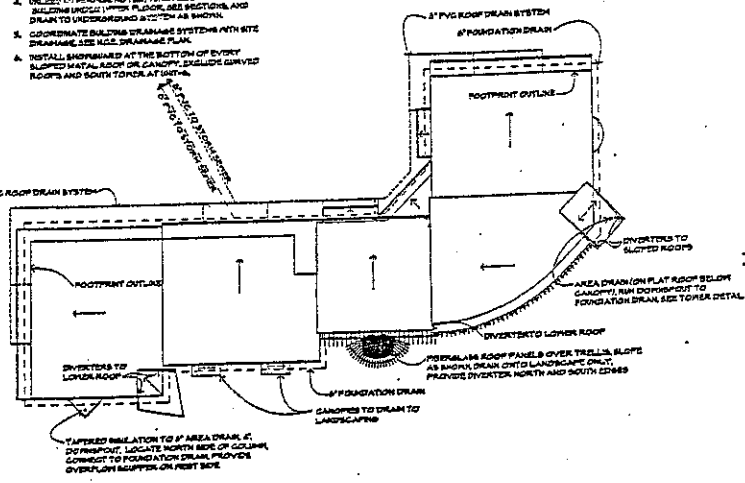
**WINDOW SCHEDULE**

W1	2	DIRECT SET	8'-0" X 8'-0"
W2	2	DIRECT SET	2'-10" X 8'-0"
W3	1	DIRECT SET	2'-8" X 8'-0"
W4	1	DIRECT SET	8'-0" X 8'-0"
W5	1	DIRECT SET	8'-0" X 8'-0"
W6	1	DIRECT SET	8'-0" X 8'-0"
W7	1	DIRECT SET	8'-0" X 8'-0"
W8	1	DIRECT SET	8'-0" X 8'-0"
W9	1	DIRECT SET	8'-0" X 8'-0"
W10	1	DIRECT SET	8'-0" X 8'-0"
W11	1	DIRECT SET	8'-0" X 8'-0"
W12	1	DIRECT SET	8'-0" X 8'-0"
W13	1	DIRECT SET	8'-0" X 8'-0"
W14	1	DIRECT SET	8'-0" X 8'-0"
W15	1	DIRECT SET	8'-0" X 8'-0"
W16	1	DIRECT SET	8'-0" X 8'-0"
W17	1	DIRECT SET	8'-0" X 8'-0"
W18	1	DIRECT SET	8'-0" X 8'-0"
W19	1	DIRECT SET	8'-0" X 8'-0"
W20	1	DIRECT SET	8'-0" X 8'-0"
W21	1	DIRECT SET	8'-0" X 8'-0"
W22	1	DIRECT SET	8'-0" X 8'-0"
W23	1	DIRECT SET	8'-0" X 8'-0"
W24	1	DIRECT SET	8'-0" X 8'-0"
W25	1	DIRECT SET	8'-0" X 8'-0"
W26	1	DIRECT SET	8'-0" X 8'-0"
W27	1	DIRECT SET	8'-0" X 8'-0"
W28	1	DIRECT SET	8'-0" X 8'-0"
W29	1	DIRECT SET	8'-0" X 8'-0"
W30	1	DIRECT SET	8'-0" X 8'-0"
W31	1	DIRECT SET	8'-0" X 8'-0"
W32	1	DIRECT SET	8'-0" X 8'-0"
W33	1	DIRECT SET	8'-0" X 8'-0"
W34	1	DIRECT SET	8'-0" X 8'-0"
W35	1	DIRECT SET	8'-0" X 8'-0"
W36	1	DIRECT SET	8'-0" X 8'-0"
W37	1	DIRECT SET	8'-0" X 8'-0"
W38	1	DIRECT SET	8'-0" X 8'-0"
W39	1	DIRECT SET	8'-0" X 8'-0"
W40	1	DIRECT SET	8'-0" X 8'-0"
W41	1	DIRECT SET	8'-0" X 8'-0"
W42	1	DIRECT SET	8'-0" X 8'-0"
W43	1	DIRECT SET	8'-0" X 8'-0"
W44	1	DIRECT SET	8'-0" X 8'-0"
W45	1	DIRECT SET	8'-0" X 8'-0"
W46	1	DIRECT SET	8'-0" X 8'-0"
W47	1	DIRECT SET	8'-0" X 8'-0"
W48	1	DIRECT SET	8'-0" X 8'-0"
W49	1	DIRECT SET	8'-0" X 8'-0"
W50	1	DIRECT SET	8'-0" X 8'-0"
W51	1	DIRECT SET	8'-0" X 8'-0"
W52	1	DIRECT SET	8'-0" X 8'-0"
W53	1	DIRECT SET	8'-0" X 8'-0"
W54	1	DIRECT SET	8'-0" X 8'-0"
W55	1	DIRECT SET	8'-0" X 8'-0"
W56	1	DIRECT SET	8'-0" X 8'-0"
W57	1	DIRECT SET	8'-0" X 8'-0"
W58	1	DIRECT SET	8'-0" X 8'-0"
W59	1	DIRECT SET	8'-0" X 8'-0"
W60	1	DIRECT SET	8'-0" X 8'-0"
W61	1	DIRECT SET	8'-0" X 8'-0"
W62	1	DIRECT SET	8'-0" X 8'-0"
W63	1	DIRECT SET	8'-0" X 8'-0"
W64	1	DIRECT SET	8'-0" X 8'-0"
W65	1	DIRECT SET	8'-0" X 8'-0"
W66	1	DIRECT SET	8'-0" X 8'-0"
W67	1	DIRECT SET	8'-0" X 8'-0"
W68	1	DIRECT SET	8'-0" X 8'-0"
W69	1	DIRECT SET	8'-0" X 8'-0"
W70	1	DIRECT SET	8'-0" X 8'-0"
W71	1	DIRECT SET	8'-0" X 8'-0"
W72	1	DIRECT SET	8'-0" X 8'-0"
W73	1	DIRECT SET	8'-0" X 8'-0"
W74	1	DIRECT SET	8'-0" X 8'-0"
W75	1	DIRECT SET	8'-0" X 8'-0"
W76	1	DIRECT SET	8'-0" X 8'-0"
W77	1	DIRECT SET	8'-0" X 8'-0"
W78	1	DIRECT SET	8'-0" X 8'-0"
W79	1	DIRECT SET	8'-0" X 8'-0"
W80	1	DIRECT SET	8'-0" X 8'-0"
W81	1	DIRECT SET	8'-0" X 8'-0"
W82	1	DIRECT SET	8'-0" X 8'-0"
W83	1	DIRECT SET	8'-0" X 8'-0"
W84	1	DIRECT SET	8'-0" X 8'-0"
W85	1	DIRECT SET	8'-0" X 8'-0"
W86	1	DIRECT SET	8'-0" X 8'-0"
W87	1	DIRECT SET	8'-0" X 8'-0"
W88	1	DIRECT SET	8'-0" X 8'-0"
W89	1	DIRECT SET	8'-0" X 8'-0"
W90	1	DIRECT SET	8'-0" X 8'-0"
W91	1	DIRECT SET	8'-0" X 8'-0"
W92	1	DIRECT SET	8'-0" X 8'-0"
W93	1	DIRECT SET	8'-0" X 8'-0"
W94	1	DIRECT SET	8'-0" X 8'-0"
W95	1	DIRECT SET	8'-0" X 8'-0"
W96	1	DIRECT SET	8'-0" X 8'-0"
W97	1	DIRECT SET	8'-0" X 8'-0"
W98	1	DIRECT SET	8'-0" X 8'-0"
W99	1	DIRECT SET	8'-0" X 8'-0"
W100	1	DIRECT SET	8'-0" X 8'-0"

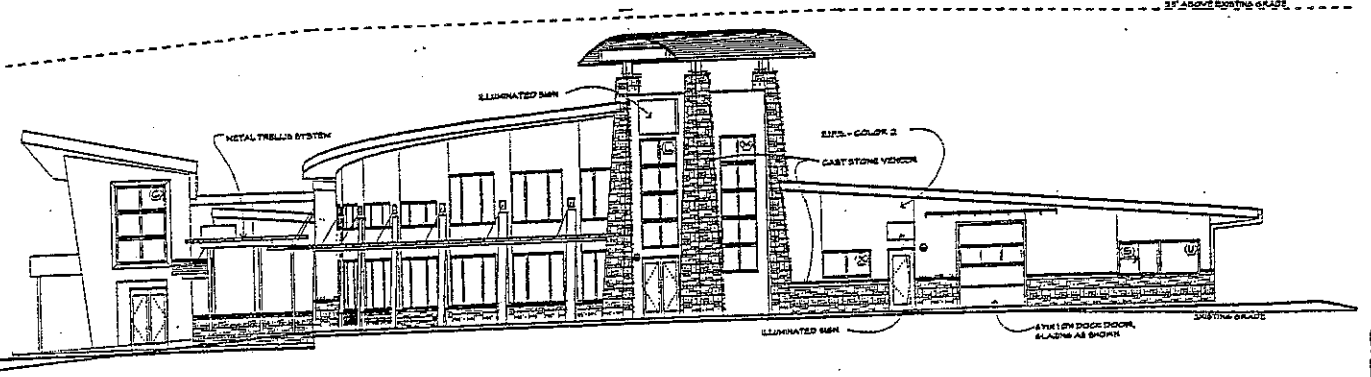
**NOTES:**  
 1. SEE ELEVATIONS FOR HAND AND OPENING.  
 2. UNLESS OTHERWISE NOTED, ALL WINDOWS ARE TO BE DOUBLE GLAZED.  
 3. UNLESS OTHERWISE NOTED, ALL GLAZING TO BE LOW EMISSIVE GLAZED.  
 4. HEADER MASONRY AND FRAMING TO BE PLAIN WITH HEADS AND TENS FOR T-O EXTERIOR DOORS (TYP).  
 5. SEE DETAIL FOR TYPICAL WINDOW DETAIL (TYP).

**DRAINAGE NOTES**

- UNLESS OTHERWISE NOTED, DO NOT CONNECT ROOF DRAIN TO FOUNDATION DRAIN.
- UNLESS OTHERWISE NOTED, ALL METERS ARE TO BE DOWNPOUTS AND 8" SQUARE, PART TO MATCH ROOF DOWNPOUTS.
- PROVIDE 20 GALLONS PER HOUR ALL METERS AND DOWNPOUTS, RUN HEAT TAPS UNTIL DOWNPOUT EXTERIOR BUILDING OR 8" BELOW BRIDGE FOR ALL METERS.
- UNLESS OTHERWISE NOTED, TURN ALL DOWNPOUTS INTO BUILDING OR 1" FROM FLOOR, SEE SECTION, AND DRAIN TO UNDERGROUND SYSTEM AS SHOWN.
- COORDINATE BUILDING DRAINAGE SYSTEMS WITH SITE DRAINAGE, SEE ALSO DRAINAGE PLAN.
- INSTALL SIGNPOST AT THE BOTTOM OF EVERY SLOPED METAL ROOF OR CANOPY, INCLUDE SLOPED ROOFS AND SOUTH TOWNS AT 60%.



**BUILDING DRAINAGE DIAGRAM**  
1" = 30'-0"



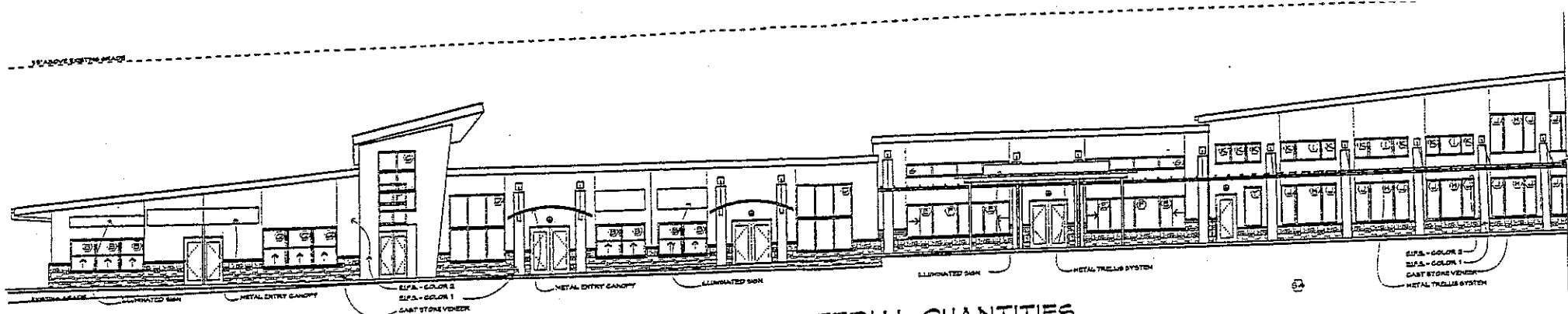
**ELEVATION - EAST**  
1/8" = 1'-0"

revised date: 05/17/11  
 project no: 05C  
 drawn by: R. W. J.  
 checked by: J. J.  
 date: 09/17/11  
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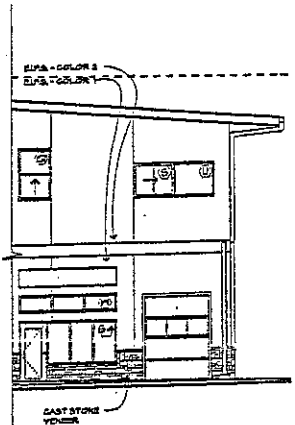
**MIDLAND CENTER**  
 LOT 2, MIDLAND CENTER, GLENWOOD SPRINGS, COLORADO



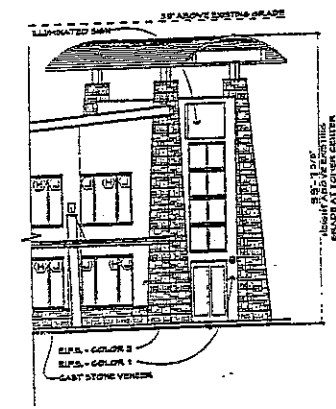
**ELEVATION - SOUTH**  
1/8" = 1'-0"

**EXTERIOR MATERIAL QUANTITIES**

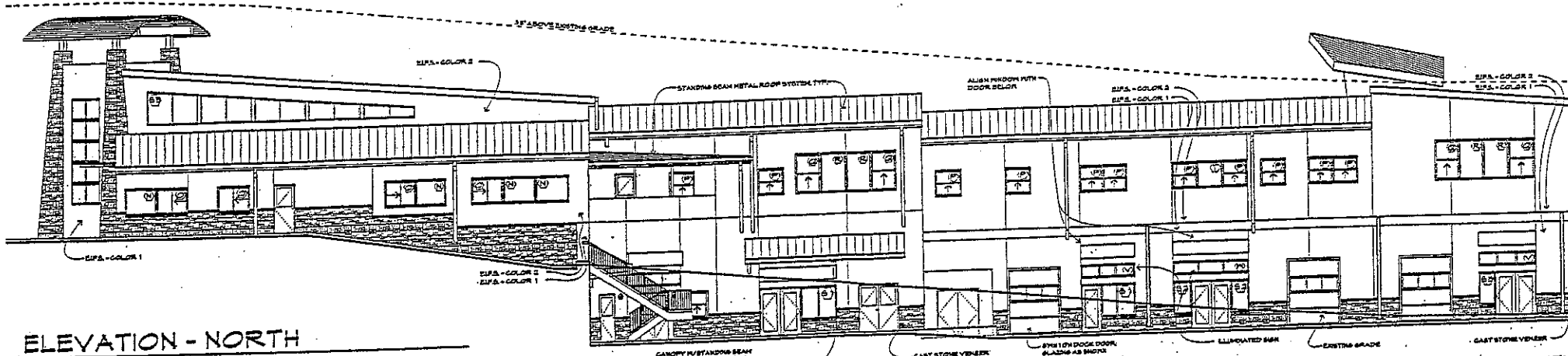
TOTAL EXTERIOR WALLS		TOTAL INCLUDING ROOF	
METALS - EARTH TONE RED	1,814 SF 8%	METALS - EARTH TONE RED (INCLUDES ROOF)	22,192 SF 84%
WOODS - HICKORY, 1 1/2" SHS	4,415 SF 20%	WOODS - HICKORY, 1 1/2" SHS	4,415 SF 11%
MASONRY - EARTH TONE SUPP	2,274 SF 11%	MASONRY - EARTH TONE SUPP	2,274 SF 9%
EIPA - EARTH TONE BROWN (1)	2,525 SF 14%	EIPA - EARTH TONE BROWN (1)	2,525 SF 9%
EIPA - LIGHT DUSTY SAND GREEN (2)	3,213 SF 15%	EIPA - LIGHT DUSTY SAND GREEN (2)	3,213 SF 12%
<b>TOTALS</b>	<b>18,207 SF 100%</b>	<b>TOTALS</b>	<b>24,929 SF 100%</b>



**PARTIAL ELEVATION - NORTH**  
1/8" = 1'-0"



**PARTIAL ELEVATION - SOUTH**  
1/8" = 1'-0"



**ELEVATION - NORTH**  
1/8" = 1'-0"

DEVELOPMENT PERMIT

revised date: \_\_\_\_\_  
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date: \_\_\_\_\_  
checked by: \_\_\_\_\_  
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MIDLAND CENTER  
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